

INSPECTION REPORT



For the Property at:
101 MAIN STREET
MONTREAL, QC

Prepared for: JOHN SMITH
Inspection Date: Saturday, September 11, 2021
Prepared by: Matthew Kompan

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Description

General:

- Hip roof
- Hip and Valley roof
- Crossed hip roof on the garage
- Single slop roof over addition
- Aluminum flashing
- Steel roof vents
- Aluminum rain gutters and down downspouts
- Stainless steel prefabricated chimney

Sloped roofing material:

- [Asphalt shingles](#)

Fiberglass shingles are installed on the main house and asphalt shingles are on the rear addition's roof.



1. shingles

Sloped roofing material:

- Fiberglass shingles

Limitations

Inspection performed:

- From roof edge
- Owner requested that the inspector not walk on the roof. Therefore, it was inspected from a ladder.

Recommendations

RECOMMENDATIONS \ Overview

- 1. Condition:** • Several major deficiencies were noted on the roof including missing flashings, open seams around the chimney, improper installation of several flashings, missing drip edge, and in some areas the underlayment is missing. Step flashing is missing around the skylight and the skylight is installed too low to the roof surface the possibility of leak on the addition is extremely high.
- All of these issues may lead to water infiltration. Some water infiltration's are not noticeable or visible from inside the

ROOFING

Report No. 1003, v.0

101 Main Street, Montreal, QC September 11, 2021

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home at first, however water infiltration can affect many different factors and components of the house before they become noticeable inside.

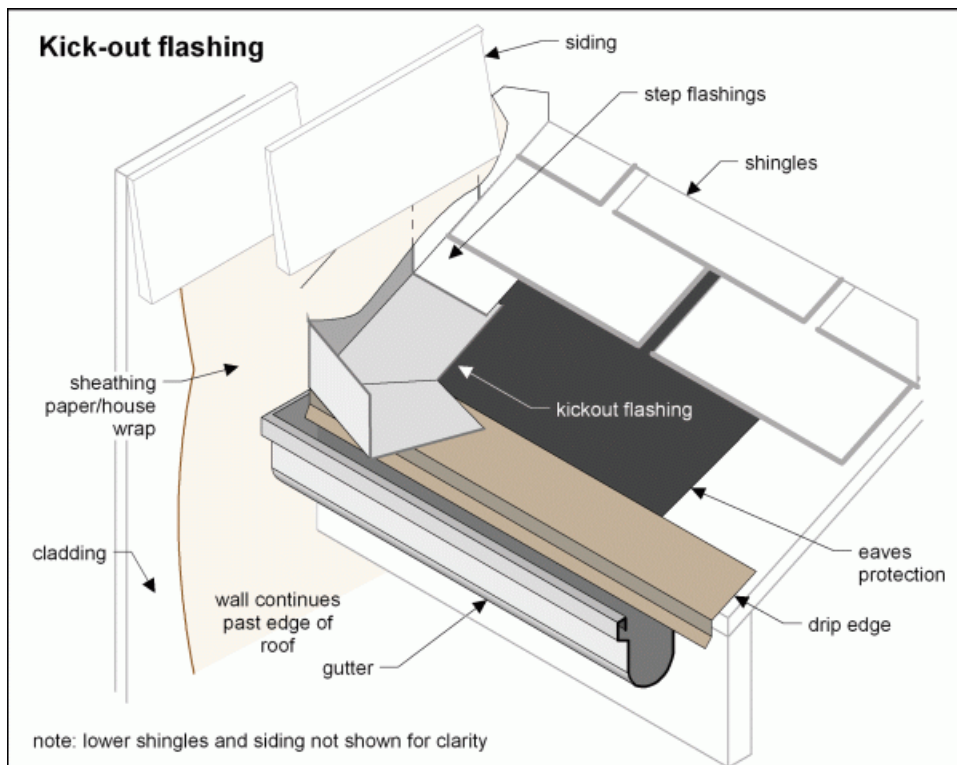
Contact a qualified roofer to correct these deficiencies to reduce the risk of possible water infiltration. Perform periodic roof maintenance over the life of the roof to extend roof life and performance.

Implication(s): Possible damage to contents and structure.

Location: Roof

Task: Improve

Time: Immediate



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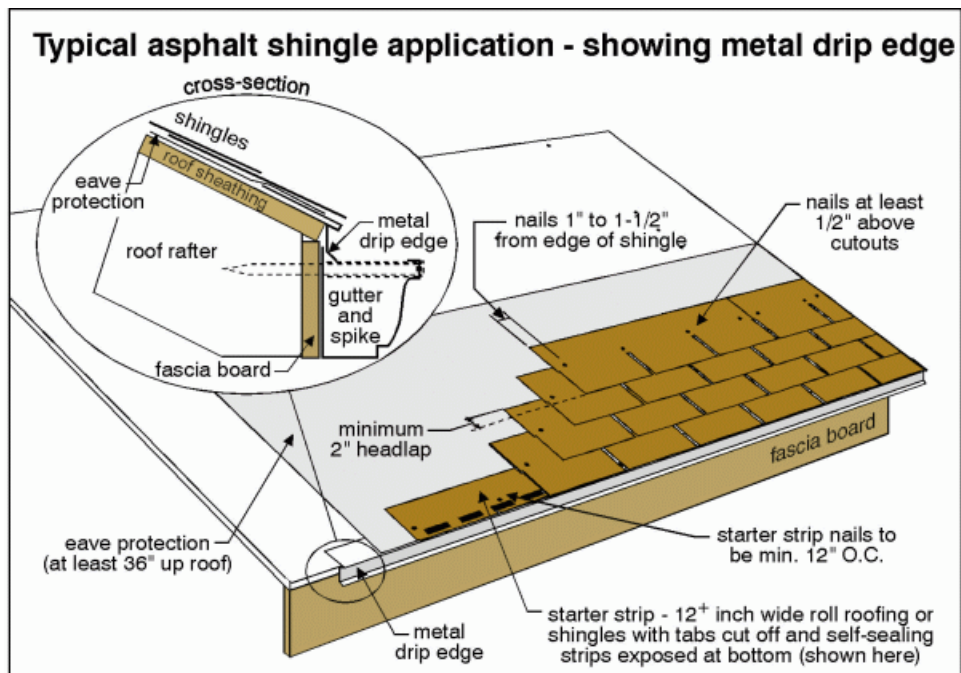
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2. Flashing too far from roof surface



3. Improperly secured drip edge

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4. Missing drip edge



5. missing kick out



6. Improperly sealed



7. improperly installed chimney flashing

SLOPED ROOFING \ Asphalt shingles

2. Condition: • [Vulnerable areas](#)

Water infiltration was noted in the attic around the chimney box this area due to its design is highly susceptible to leaks as already mentioned the area around the chimney needs to be sealed properly to avoid further damage to structure.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Roof

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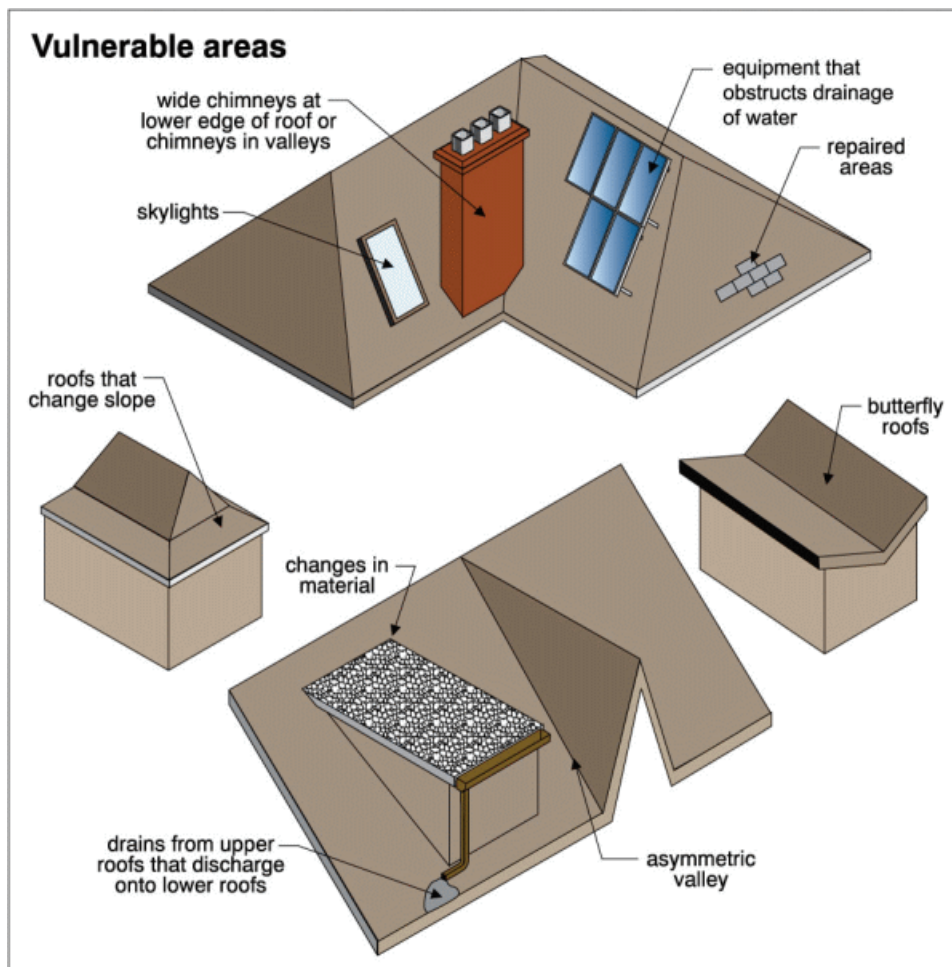
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8. water damage



3. **Condition:** • It was observed that the drip edge is not continuous and improperly attached to the roof surface.

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Therefore it is highly possible that water could infiltrate in these areas. Contact a roofer to verify the continuity of the drip edge especially where terminating over rain gutters.

Implication(s): Possible damage to contents and structure.

Location: Throughout Exterior

Task: Improve

Time: Immediate



10. missing drip edge

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Description

General: • side walks and drive way materials: asphalt.

Wall surfaces and trim: • Man-made brick or stone • Aluminum

Garage vehicle door operator (opener): • Present

Limitations

General: • Left garage door was inoperable due to obstructions and stored items.

Recommendations

RECOMMENDATIONS \ Overview

4. Condition: • Decorative stone between the driveway and the sidewalk to the front of the house and into the backyard is about 2 inches higher than the driveway or the sidewalk thus creating a trip hazard. It is recommended that the two surfaces are level.

The decorative stone needs to be removed and lowered to be even with the driveway and the sidewalk. contact a landscaping contractor for corrections.

Implication(s): Trip hazard.

Location: Front

Task: Correct



11. trip hazard

5. Condition: • The step to the bottom landing at the front entrance is of uneven height in some area exceeds 10 inches. The possibility of fall or tripping is very high.

Several different corrections are possible such as adding a railing on either side and raising the front sidewalk. Contact a certified general contractor for corrections.

Implication(s): Trip hazard

Location: Front

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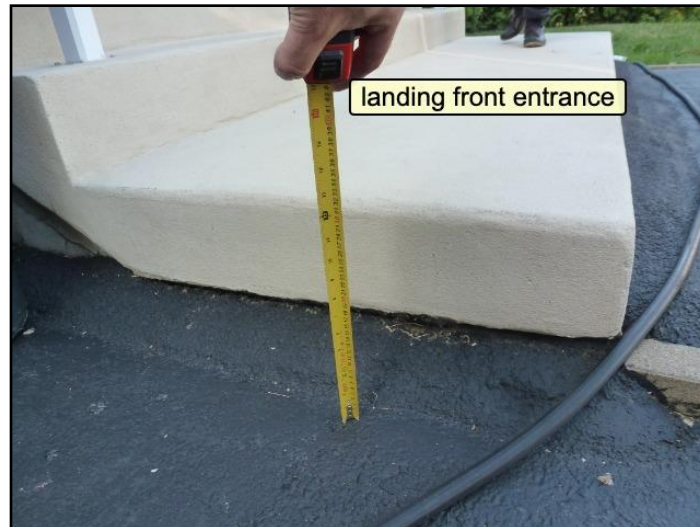
INTERIOR

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Task: Correct

Time: Immediate



12. trip hazard

ROOF DRAINAGE \ Gutters

6. Condition: • The rear addition is under current construction. The rain gutter has not yet been installed. It is essential that one be installed with a downspout terminating at least 6 feet away from the home and in a way that the water would be directed away from the foundation. .

Install new rain gutters and downspouts to direct water away from the house. Contact a certified general contractor for corrections.

Implication(s): Water infiltration damage to structure and content.

Location: Rear Sunroom

Task: Correct



13. Missing rain gutter

ROOF DRAINAGE \ Downspouts

7. Condition: • [Discharge too close to building](#)

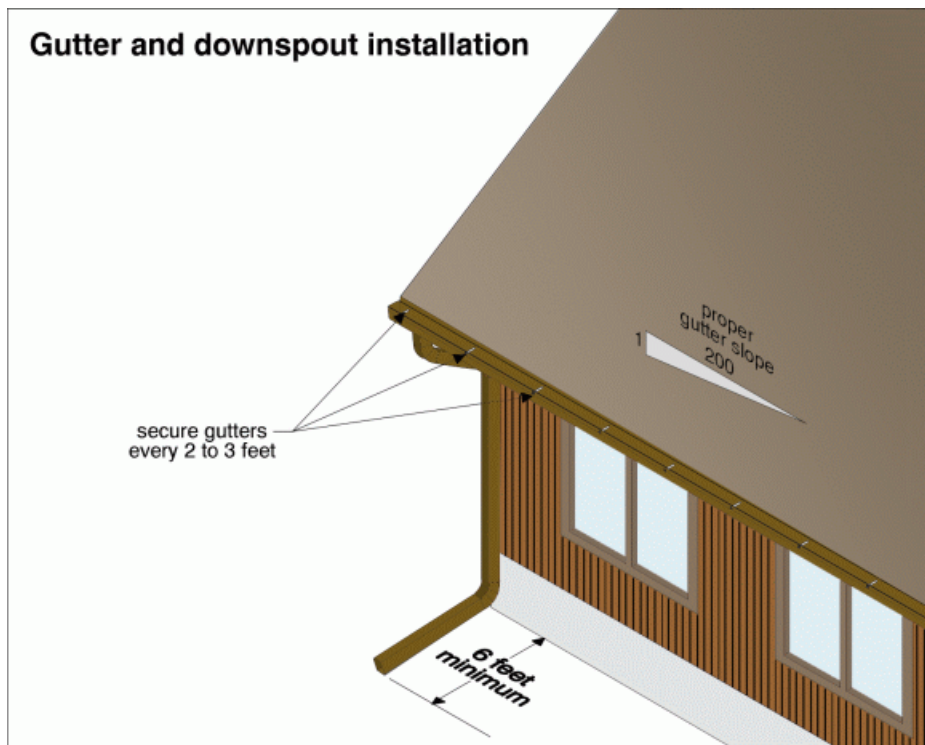
Three of the downspouts' discharge are too close to the building. It is recommended that the water discharge is at least 6 feet long to allow water drainage away from the foundations. Also keep in mind when installing a downspout extension not to create a trip hazard if near a sidewalk or stairs.

Contact a certified general contractor for corrections.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Left Right

Task: Correct



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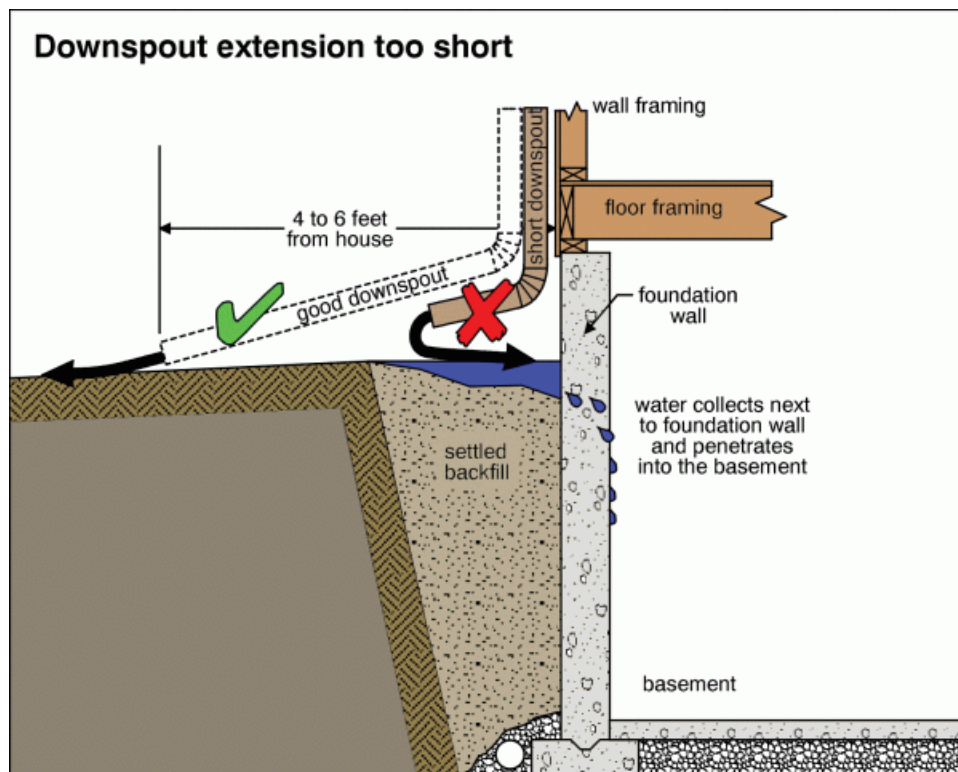
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14. Discharge too close to building



15. Discharge too close to building

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16. Discharge too close to building

WALLS \ General notes

8. Condition: • Siding - incomplete / missing

A j-trim was installed mid-wall between pieces of siding on the right side of the house. This trim can retain water it needs to be removed and siding properly installed. Typically the J trim is installed at the top and vertical extremity of the siding as well as around windows doors and other openings,

it is unclear why this J-trim is installed mid wall. Contact a certified general contractor for corrections.

Location: Right Exterior



17. j-trim mid wall

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9. Condition: • The siding on the home was improperly installed. At the base where the siding starts, a horizontal strapping was installed. This retains water and condensation which runs down the air guard behind the siding. The water that sits on top of the strapping may deteriorate it and the structure of the home.

At the base of the siding a non-perforated J trim was installed. This will also retain water and channel the water into the corners or extremities on the J trim. Drilling small holes into the J trim at the base of the walls will improve the situation. The second picture and third picture show where the siding is detached over the garage roof and on the right side wall. Properly reattaching the siding is essential to prevent water infiltration and further damage to the siding.

Remove siding on the perimeter of the house just above the foundation inspect and correct the situation.

Contact a certified general contractor for further evaluation and correction.

Implication(s): Damage to structure and finishes of the home.

Location: Throughout

Task: Further evaluation.



18. Improperly install siding



19. Detached siding



20. Detached siding

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10. Condition: • Caulking around the vents on the exterior wall is deteriorated and in need of replacement. It would be highly recommended to replace the old plastic vents with new steel units it will provide a better seal and less exterior air intrusion.

Contact a certified general contractor for corrections.

Implication(s): water damage to structure.

Location: Right Exterior



21. Deteriorated caulking

WINDOWS AND DOORS \ General notes

11. Condition: • Paint and Caulking - deteriorated / missing

Caulking at the bottom of the front door is deteriorated and needs to be replaced.

Location: Front First Floor Furnace Room

Task: Repair or replace

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22. Paint and Caulking - deteriorated / missing

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

12. Condition: • [Rot](#)

Rear lower deck where the hot tub is located is in very poor condition. Portions are rotten, broken steps are present, and the stairs going to the house are improperly secured and missing a railing at the rear extremity. Contact a certified general contractor for corrections.

Signs of rodents under the lower deck were also observed. Monitor the situation and if they're still present or return contact an exterminator.

Implication(s): Weakened structure

Location: Rear Deck

Task: Correct



23. Rot



24. Rot



25. Rot

13. Condition: • Poorly built

Many issues were observed with the rear patio. Corrections are necessary to the structure, railing, and decking boards. Some of the 4 x 4 supports are not vertical, but are angled. They need to be readjusted and reattached properly to the structure.

A deck needs to be continuously attached with a ledger boards to the building; there was no ledger board observed on three sides of the rear deck.

The railing towards the pool is at 32 inches. Minimum requirement is 36 inches and there is no lockable gate to prevent access to the pool. This is a major concern for safety.

Railing on the perimeter is loose and improperly anchored into the deck structure.

Upper deck to the pool is missing joist hangers and mechanical connection between posts and structure.

Contact a certified licensed general contractor to correct the issues.

Implication(s): Weakened structure

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Location: Rear

Task: Correct

Time: Immediate



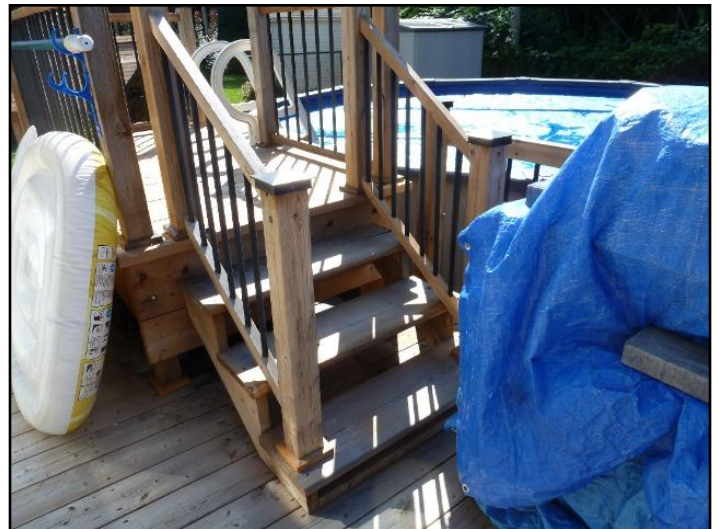
26. Poorly built



27. Poorly built to low



28. Missing ledger board



29. missing gate to pool

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30. Loose railing



31. Trip hazard.



32. Missing joist hangers



33. Loose railing.

14. Condition: • [Wood/soil contact](#)

It's recommended that all wood structures would be at least 6 inches from the ground. When Wood becomes in contact with the ground and retains moisture and deteriorates quickly. When repairing or reconstructing the rear deck insured that it's done in a way that all wood components are a minimum of 6 inches from the ground.

Contact a certified general contractor for corrections.

Implication(s): Rot | Insect damage

Location: Rear Deck

Task: Correct



34. Wood/soil contact

LANDSCAPING \ Lot grading

15. Condition: • [Improper slope or drainage](#)

Negative slope towards the house was noted on the left side the rear and the right side of the home. This can allow for water to flow towards the foundation. It is important to re-slope the areas so that the rainwater is directed away from the property to reduce the risk of water infiltration and damages to the property.

Contact a certified general contractor for corrections.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Left Right Exterior

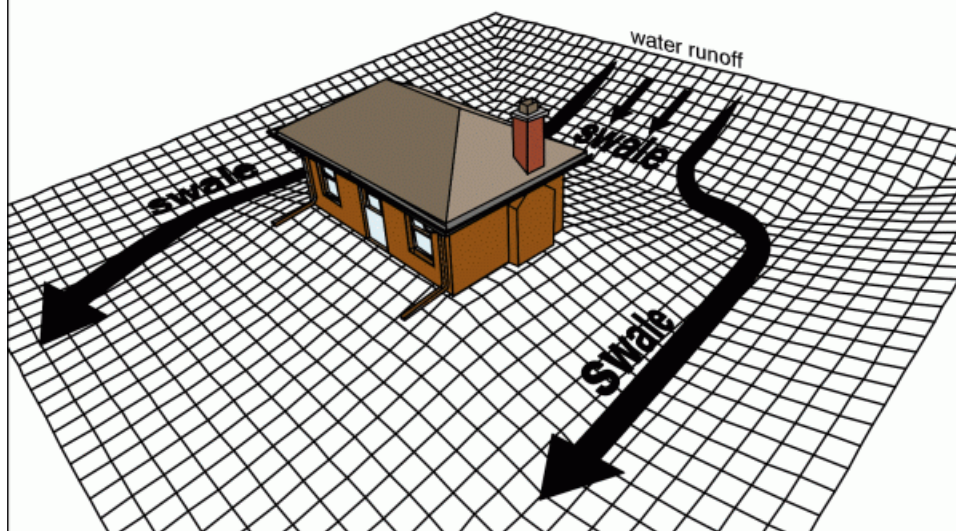
Task: Correct

Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation





35. Improper slope or drainage



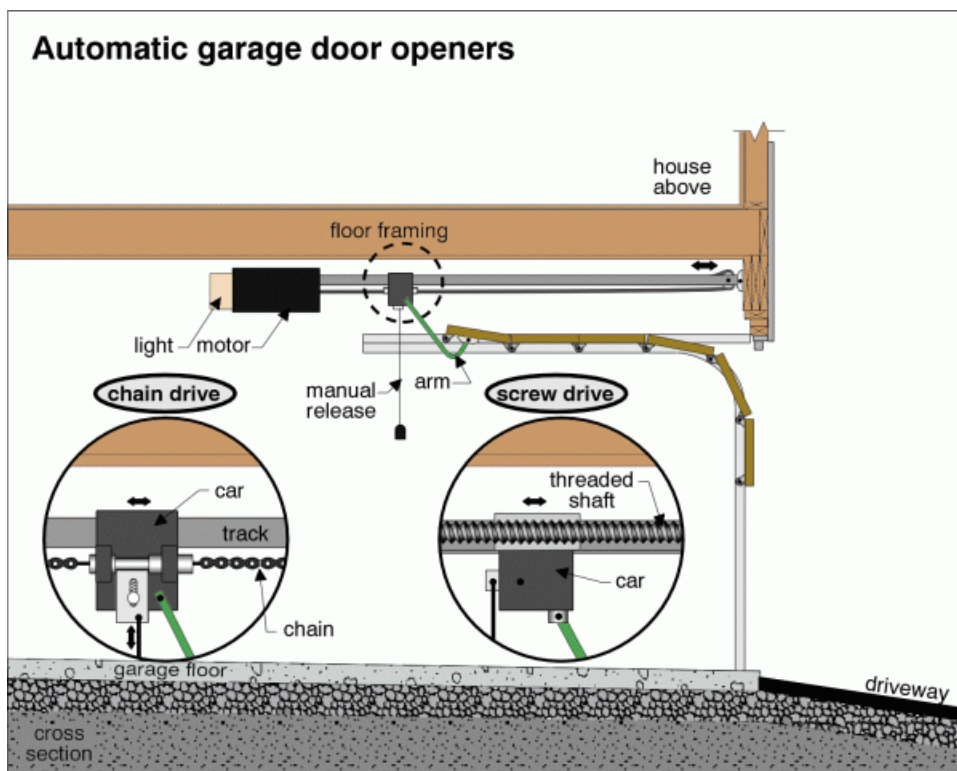
36. Improper slope or drainage

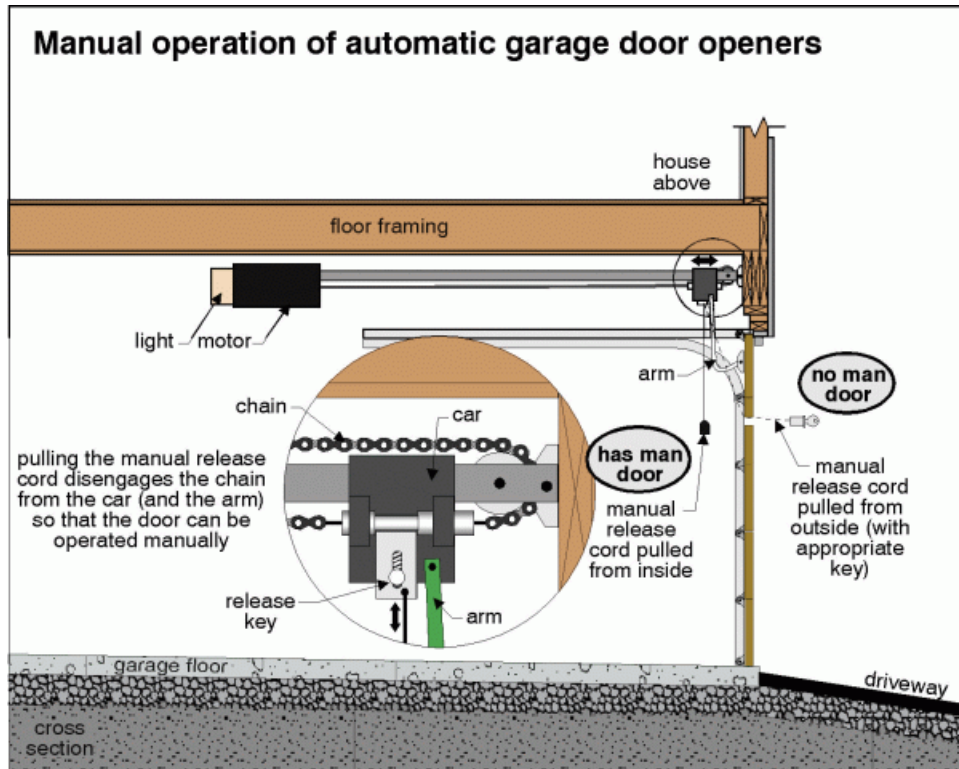
GARAGE \ Vehicle door operators (openers)

16. Condition: • Inoperative

Left garage door is not accessible to be opened therefore was not tested during inspection.

Implication(s): System inoperative





17. Condition: • [Fails to auto reverse](#)

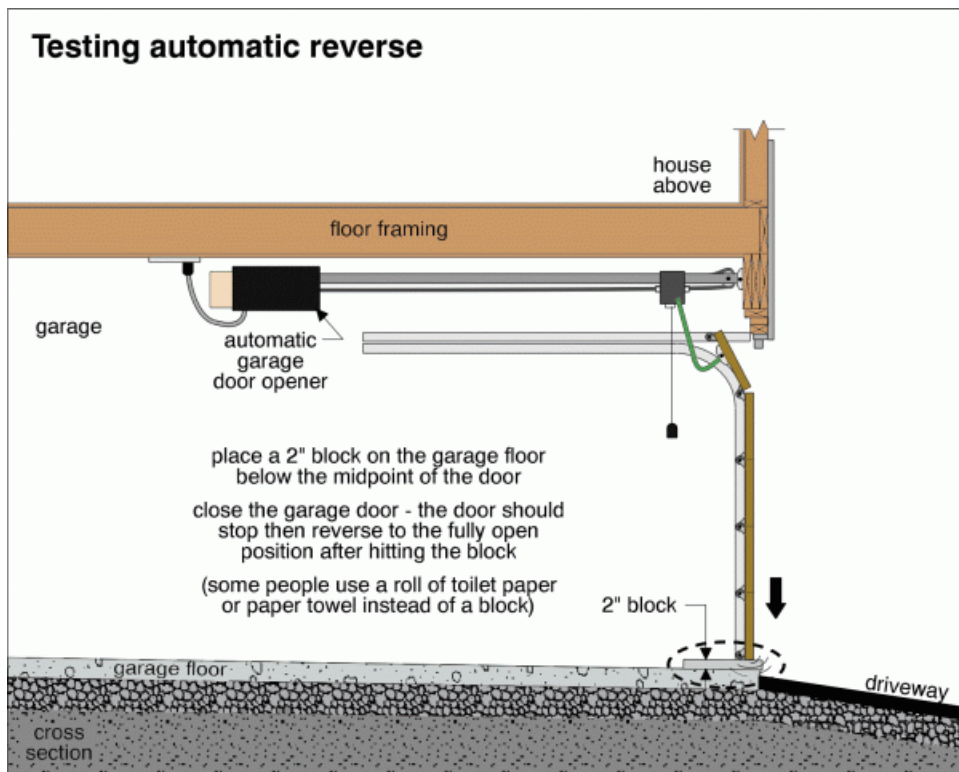
The garage door opener failed to auto reverse when pressure was applied. An adjustment is needed to the garage door opener to auto reverse should it come in contact with a person or an object placed under the opening while the door is closing. Contact the garage door specialist for adjustments.

Implication(s): Physical injury

Location: Front Garage

Task: Correct

Time: Immediate



37. Fails to auto reverse

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • [Trusses](#) • [Oriented Strand Board \(OSB\) sheathing](#)

Limitations

Inspection limited/prevented by: • Carpet/furnishings • Storage

Attic/roof space:

- Inspected from access hatch

- No access

Attic space over the garage and over living room was not accessible therefore not inspected.

Recommendations

FOUNDATIONS \ General notes

18. Condition: • Typical minor cracks

Five typical foundation cracks were noticed. It is essential that these would be sealed especially below grade to lower the risk of water infiltration and damage to the structure of the home.

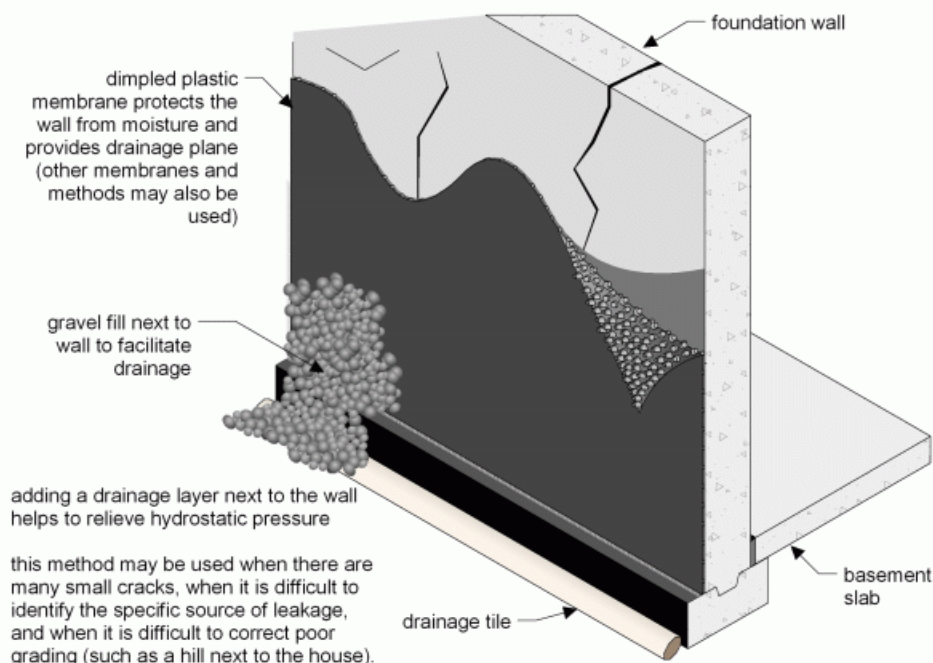
Contact a certified general contractor for corrections.

Implication(s): Chance of water entering building

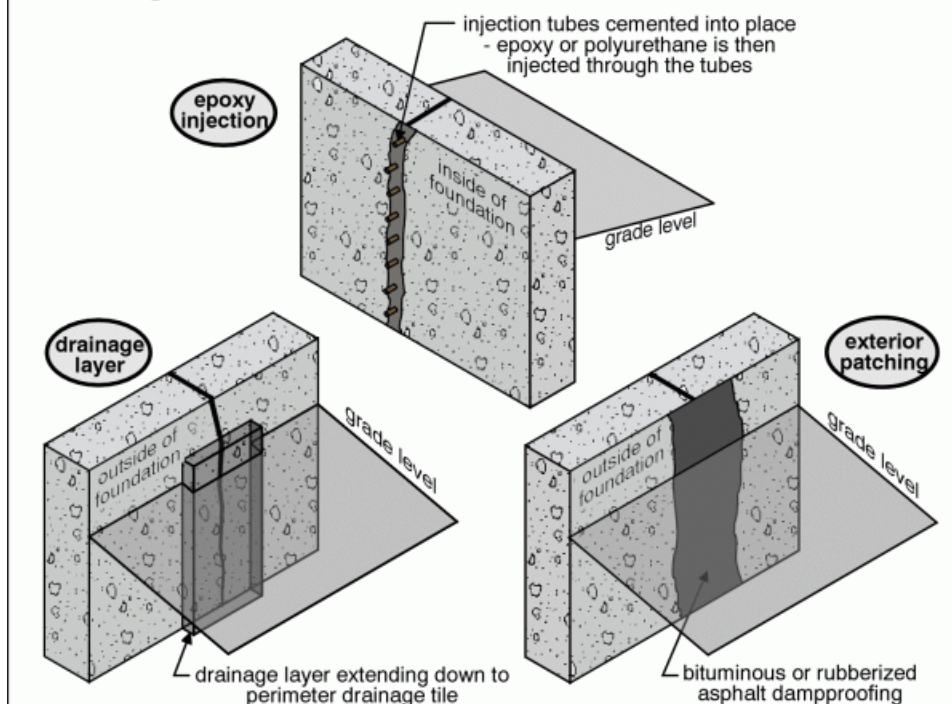
Location: Various Exterior

Task: Improve Monitor

Crack repair - drainage layer



Patching cracks



Crack repair - epoxy and polyurethane injection

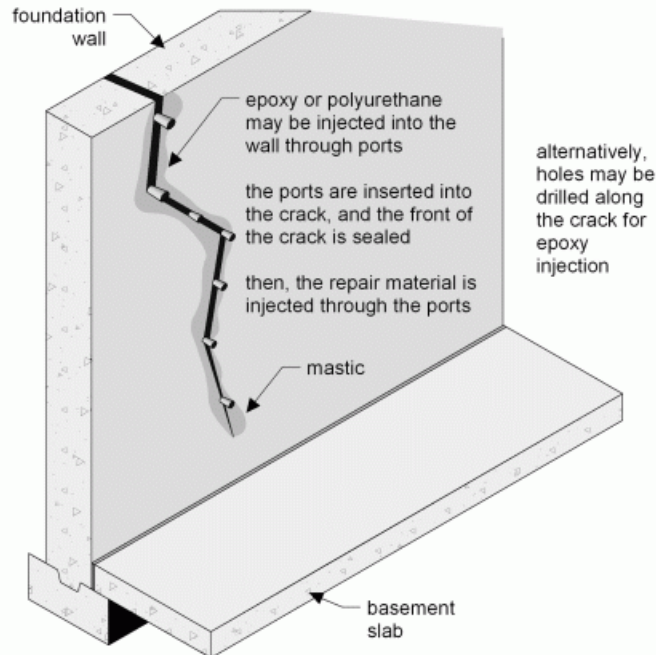
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



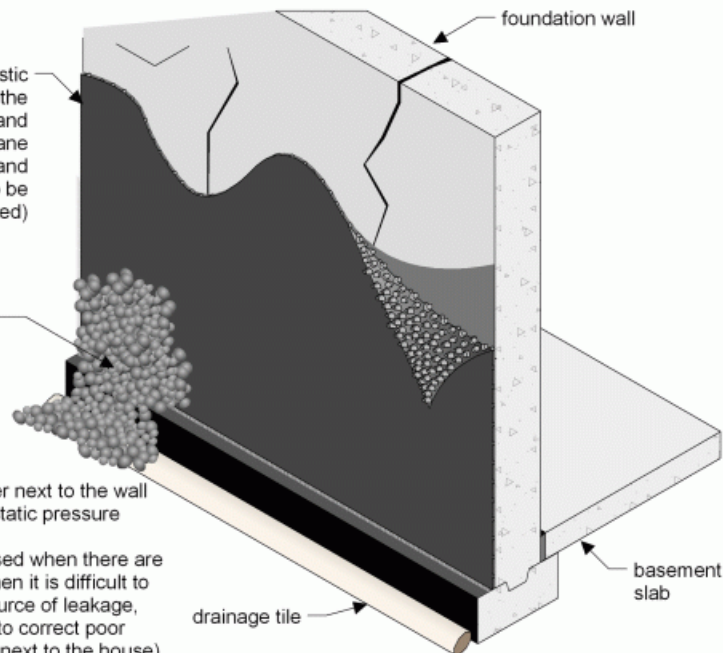
Crack repair - drainage layer

dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

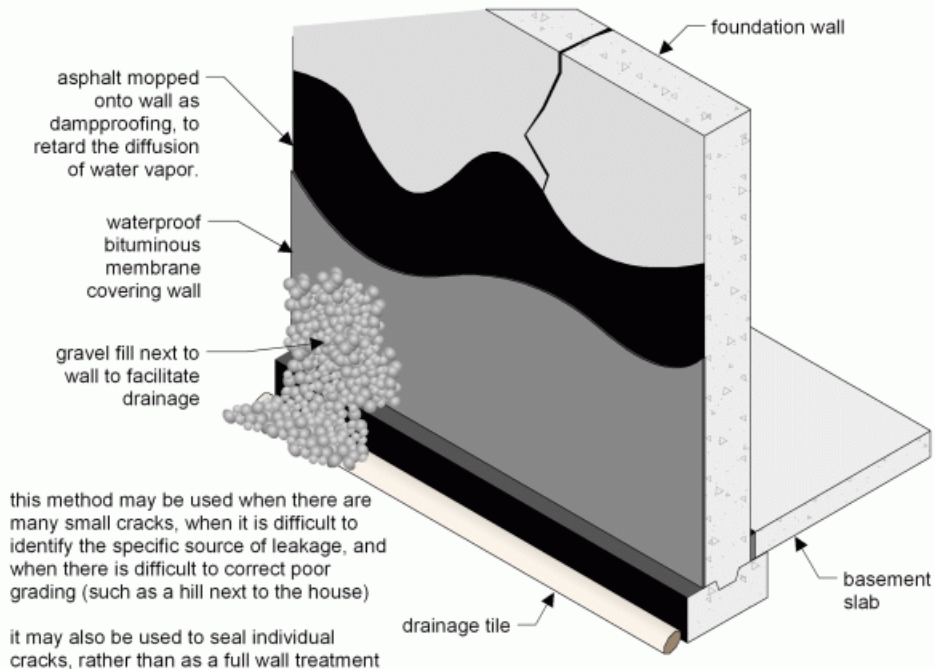
gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).



Crack repair - exterior patching



38. Typical minor cracks



39. Typical minor cracks



40. Typical minor cracks



41. Typical minor cracks



42. Typical minor cracks

FLOORS \ Joists

19. Condition: • [Split or damaged](#)

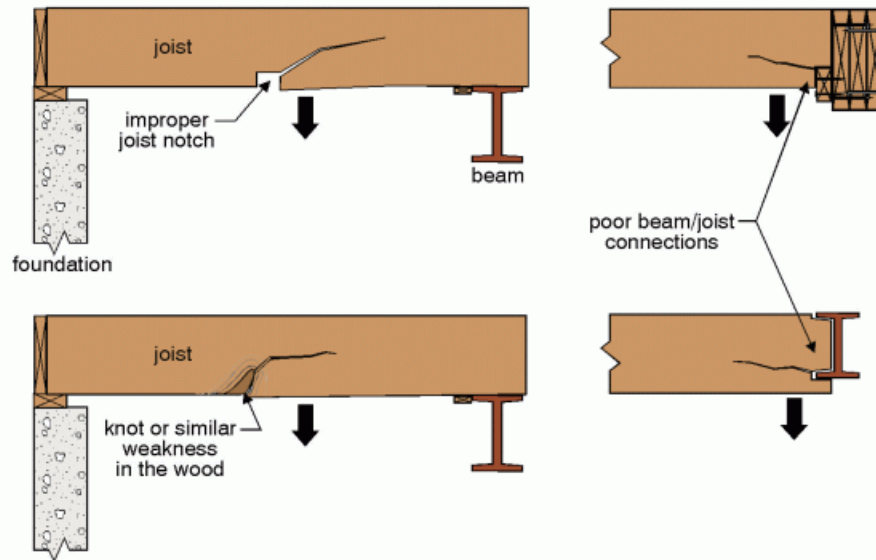
Split in one of the floor joists was noted it is recommended to reinforce it by adding additional lumber on either side. Contact a certified general contractor for proper correction.

Implication(s): Weakened structure | Chance of structural movement

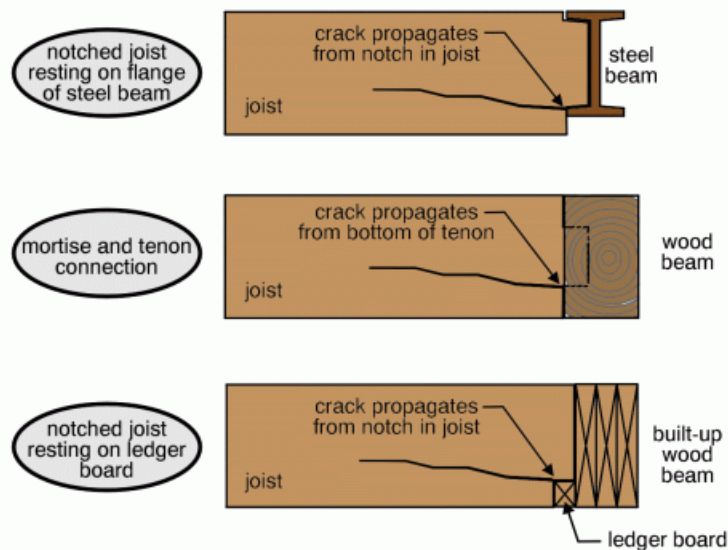
Location: Rear Basement Foyer

Task: Correct

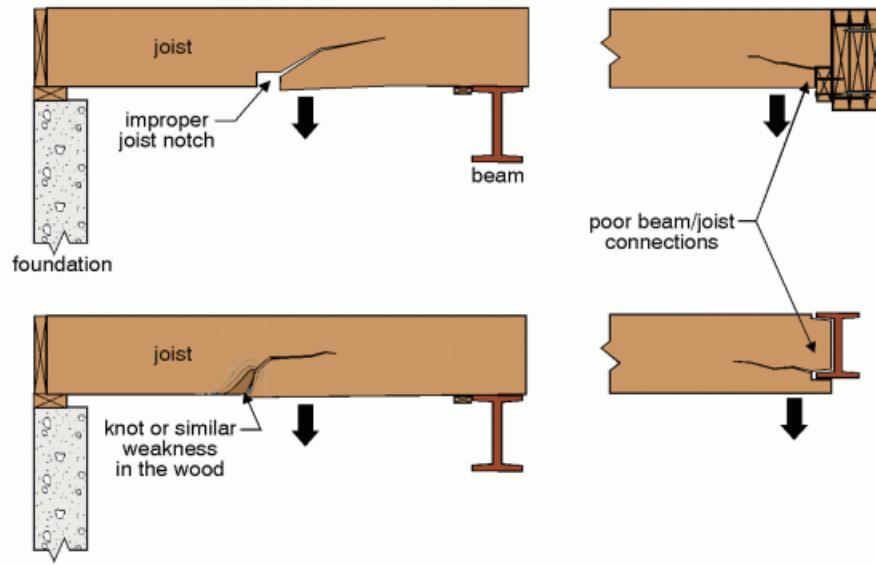
Common causes of cracked joists



Examples of weak joist/beam connections



Common causes of cracked joists



43. Split or damaged

FLOORS \ Concrete slabs

20. Condition: • [Cracked](#)

Typical floor cracks were noticed in the garage floor. The cracks that are on the exterior of the garage door should be sealed to avoid water infiltration and freezing in the winter.

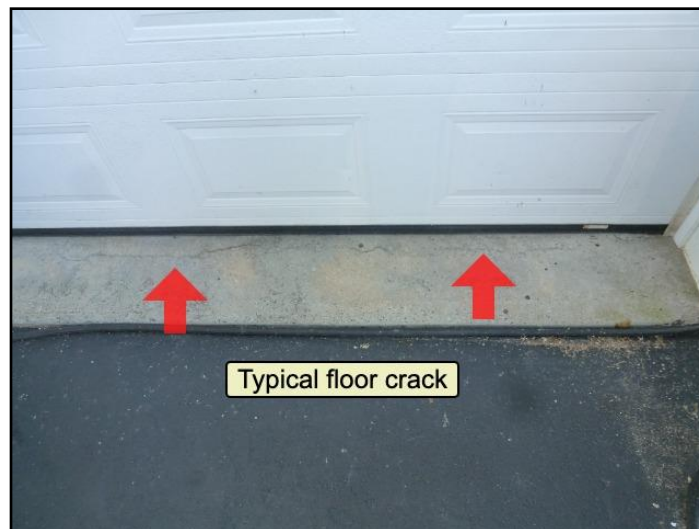
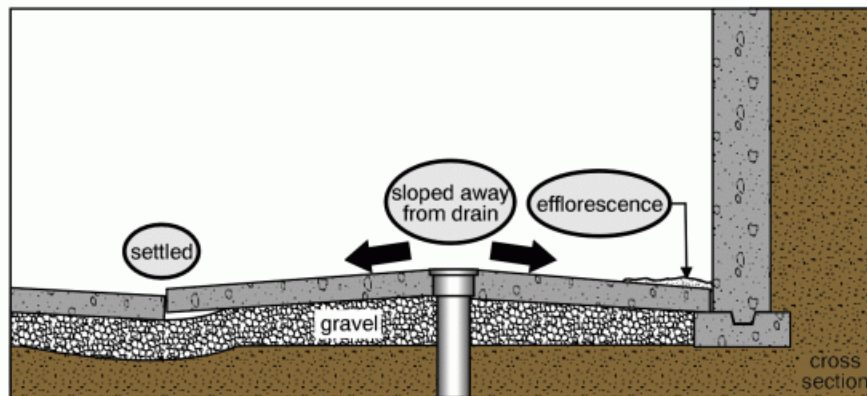
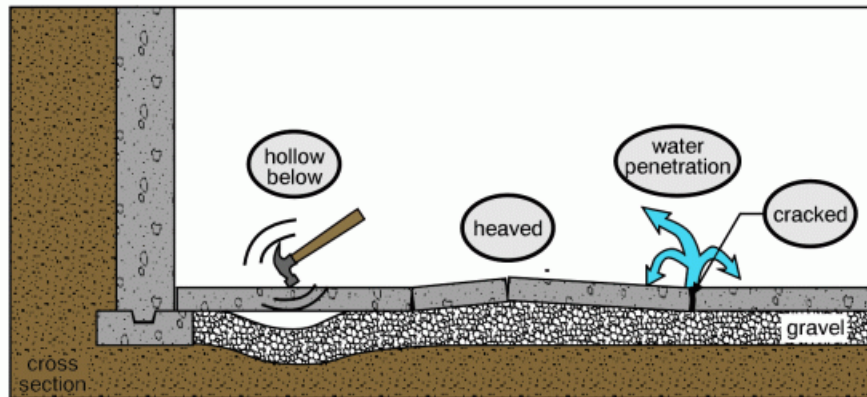
Contact a certified general contractor for corrections.

Implication(s): Chance of water damage to structure, finishes and contents | Trip or fall hazard

Location: Garage

Task: Monitor

Concrete floor problems



44. Cracked

WALLS \ Wood frame walls

21. Condition: • In the utility room in the basement: a 2x4 behind the water heater is visibly under a heavy load. A steel

jack should be added to hold the weight of the floor and stairs. Contact a general contractor for corrections..

Implication(s): weakened structure

Location: Basement Utility Room

Task: Improve

Time: Immediate



45. insufficient support

ROOF FRAMING \ Rafters/trusses

22. Condition: • [Split](#)

A split was noted in one of the roof trusses in the attic. It is important that this would be repaired or reinforced before snow accumulation on the roof. Contact a certified general contractor for corrections.

Implication(s): Weakened structure | Chance of structural movement

Location: Attic

Task: Correct



46. Split

Description

Service size:

- [200 Amps \(240 Volts\)](#)

the electrical entrance is located in the left rear corner of the home the electric meter is clearly visible and accessible from the backyard.

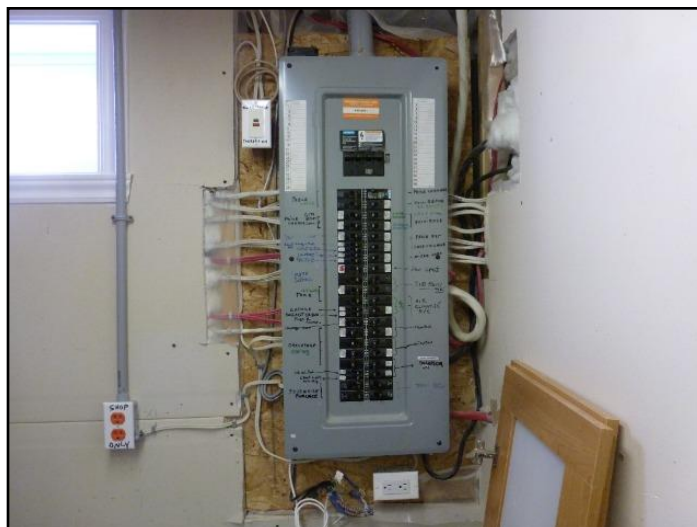


47. 200 Amps (240 Volts)

Main disconnect/service box type and location:

- [Breakers - basement](#)

The electric breaker panel is located in the basement in the left rear corner.



48. Breakers - basement

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors):

- None noted

There were no carbon monoxide detectors noted on any floors of the home these are essential especially in a home with a propane fireplace.

Limitations

General: • Ground connection not visible.

Recommendations

RECOMMENDATIONS \ General

23. Condition: • Exposed live wires. Live wires not enclosed in electrical box were noted in several areas of the home: in the garage on the left wall, on the outside over the exterior door entrance to the basement, and under the kitchen cabinets.

These wires need to be covered inside a proper electrical box to avoid the possibility of an electric shock.

Contact A certified electrician for corrections.

Implication(s): Electric shock.

Location: Various Basement Exterior Second Floor Garage Kitchen

Task: Correct

Time: Immediate



49. exposed live connection



50. Exposed live connection



51.



52. exposed wires

DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

24. Condition: • Exposed live wire.

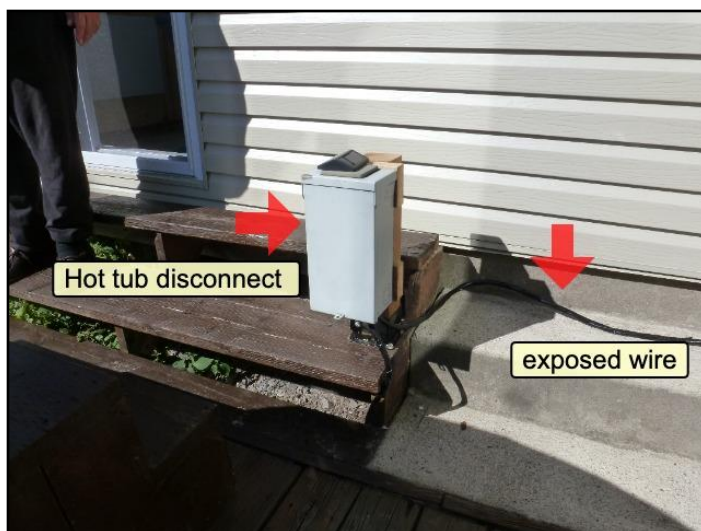
Two exposed live wires were observed in the backyard: one leading from the rear wall to the hot tub disconnect and one at the rear of the deck near the pool with an unsecured outlet attached.

Furthermore the disconnect to the hot tub is located within 6 feet of the hot tub, therefore posing a risk of electrocution.

These two unprotected live wires in the backyard near a pool and a hot tub are of extreme concern for safety the situation should be remedied immediately and without delays. Mechanical damage to the wires is highly possible.

Contact a certified electrician to rectify the situation immediately.

Location: backyard



53. exposed wire

DISTRIBUTION SYSTEM \ Outlets (receptacles)

25. Condition: • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

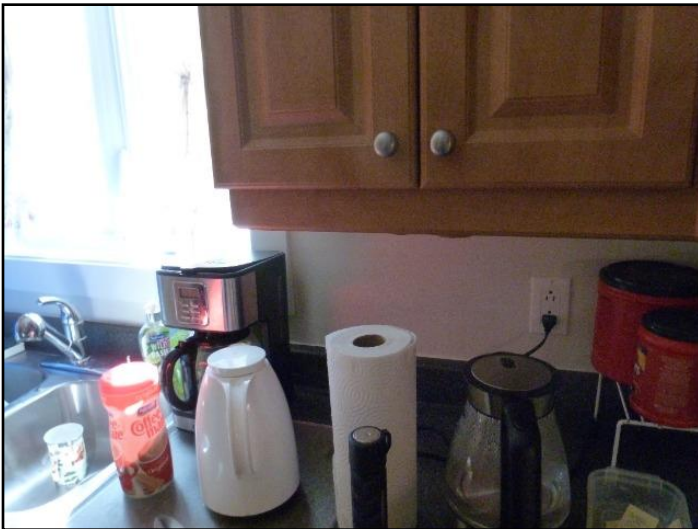
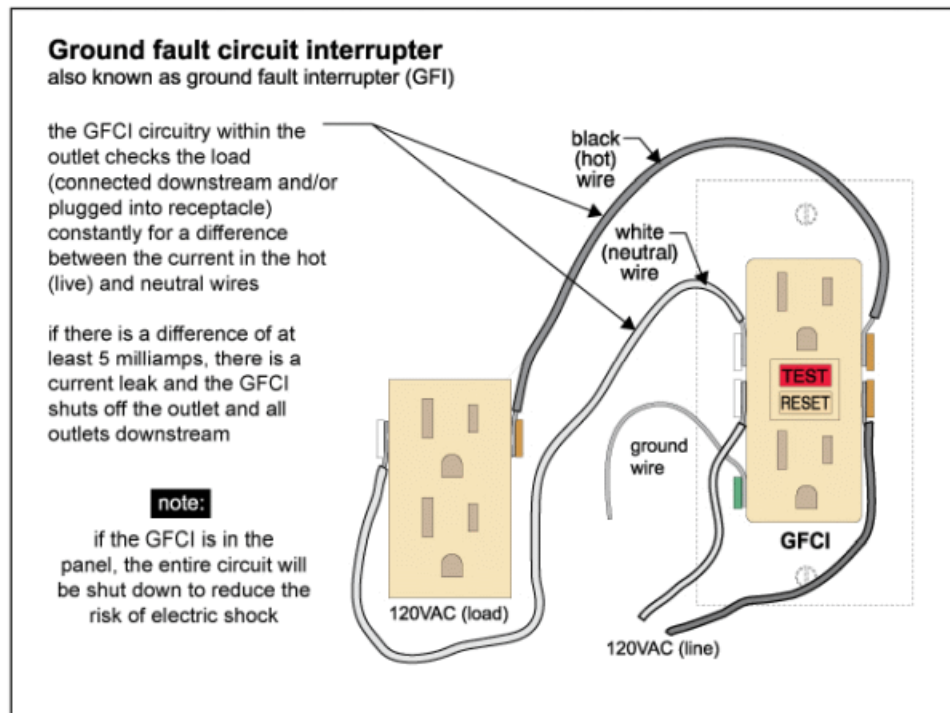
Two outlets in the kitchen one to the right one to the left of the sink are within 3 feet of the sink and thus need to be GFCI protected. Replace the breaker protecting these outlets by a GFCI breaker.

Contact A certified electrician for corrections.

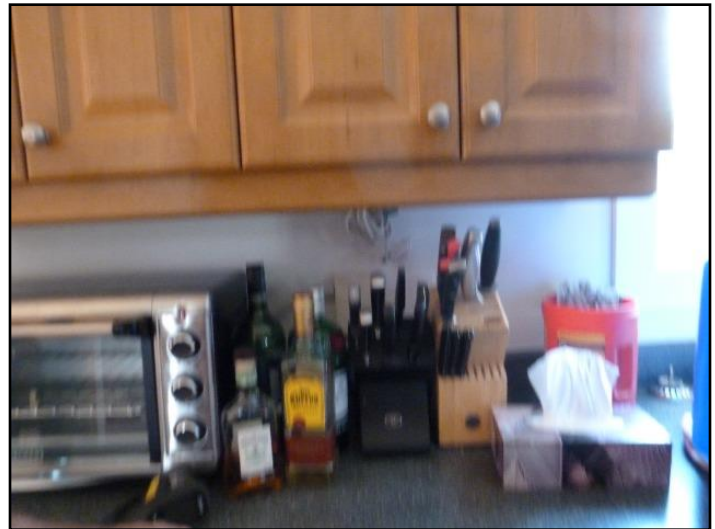
Implication(s): Electric shock

Location: Kitchen

Task: Correct



54. No GFCI/GFI (Ground Fault Circuit...



55. No GFCI/GFI (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

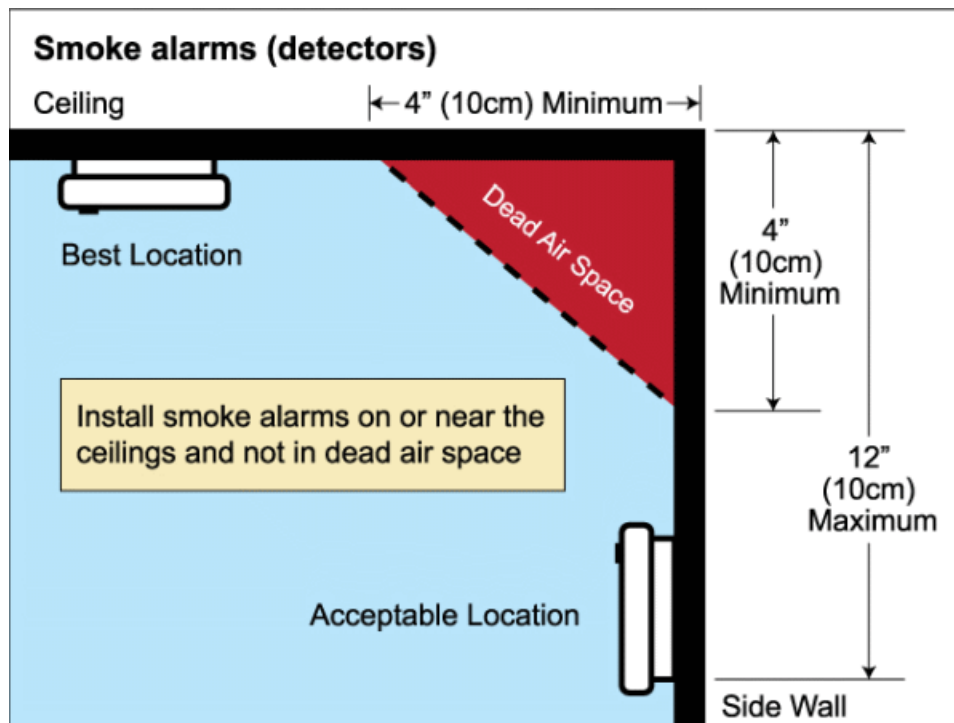
26. Condition: • [None](#)

Smoke alarms where not noted in the main area of the basement or in any of the bedrooms of the home. It is recommended to test smoke alarms in a home monthly. Add smoke alarm in the main area of the basement and in every bedroom.

Some homeowners feel comfortable installing smoke detectors themselves the location is key for detecting the smoke or heat quickly. Consult local regulations and bylaws for requirements of smoke detectors in your home. Contact A certified electrician for corrections.

Implication(s): Fire hazard

Location: Basement Bedroom Master Bedroom



Description

General: • The air exchanger air intake and return are located on the right wall of the property make sure that these remain clear and away from any combustible such as generators or barbecues.



56. return air



57. air intake

General: • The basement is heated with individual electric baseboard heaters in every room. Main floor and the second floor are heated with the central system that is being replaced. The garage does not currently have a heater installed in it.

Heating system type: • [Furnace](#) • Electric baseboard heaters • [Heat pump](#)

Fuel/energy source: • [Gas](#) • [Electricity](#)

Approximate age: • [16 years](#)

Main fuel shut off at: • Meter • Exterior wall

Fireplace/stove: • [Gas fireplace](#)

Chimney/vent: • [Masonry](#)

Chimney/vent: • Pre-fabricated

Location of the thermostat for the heating system:

- Living Room
- Hallway

Main thermostat is located near the staircase to the basement on the main floor. Control for the fireplace is located in the dining room towards the hallway. Basement is heated with baseboard heaters each room has a thermostat located near the door in each room.

Powder room located on the main floor does not have a heat source and does not require one since it doesn't share any exterior walls.

HEATING

101 Main Street, Montreal, QC September 11, 2021

Report No. 1003, v.0

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

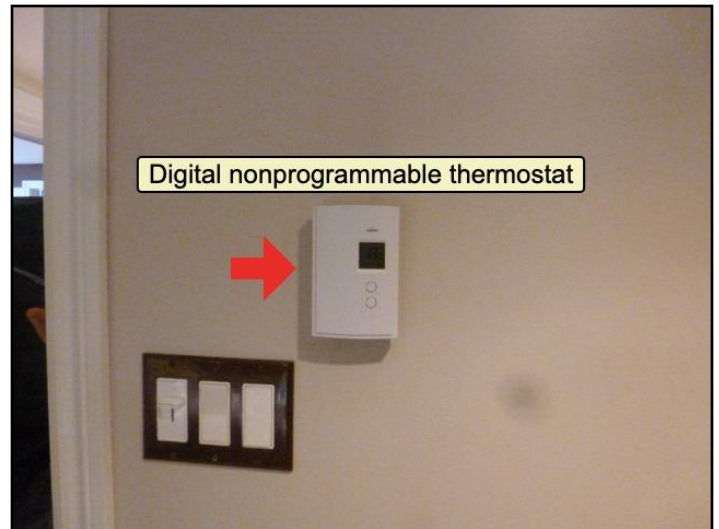
INTERIOR

SITE INFO

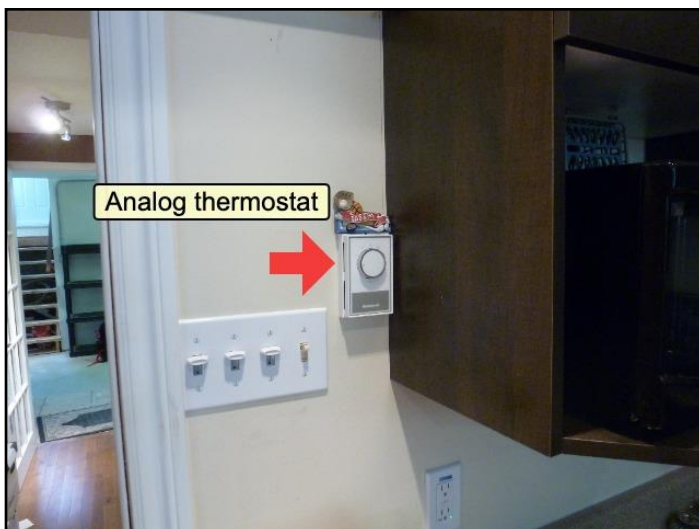
REFERENCE



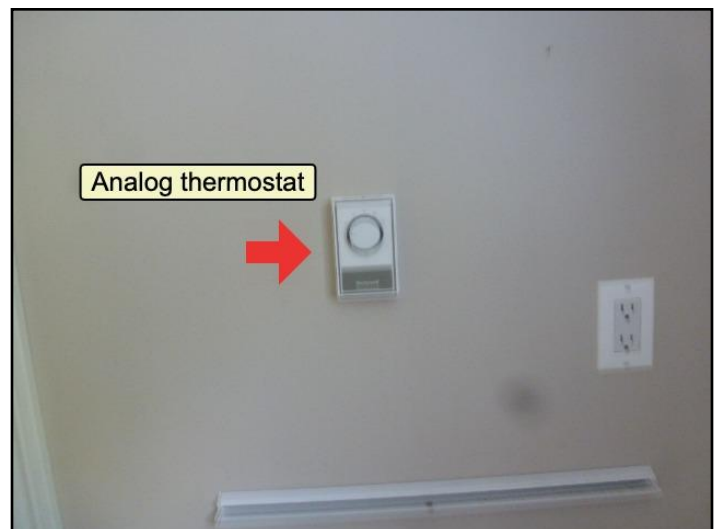
58. Basement foyer thermostat



59. Basement bathroom thermostat



60. Basement kitchen thermostat



61. Basement bedroom thermostat

HEATING

Report No. 1003, v.0

101 Main Street, Montreal, QC September 11, 2021

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

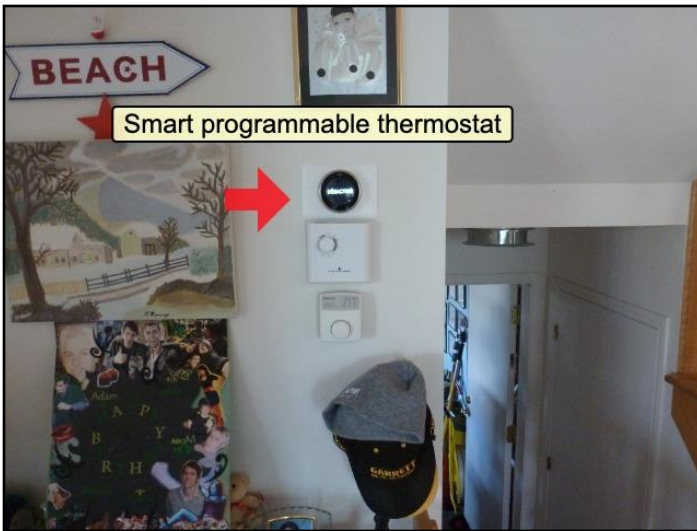
INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



62. Hallway central thermostat

• Dining Room



63. fireplace control thermostat

Limitations

General: • System currently not operational owner informed me that the system cannot be turned on. It is being fully replaced in the coming days. We recommend re-inspecting the heating air-conditioning and ventilation system once the new units are installed.

Recommendations

RECOMMENDATIONS \ General

27. Condition: • When the new heating/air conditioning/air exchange system are installed, it is recommended to reinspect these installations prior to purchase.

28. Condition: • The garage does not currently have a heater installed in it. The home was designed and built with the intention of the space being heated and kept above freezing temperatures, therefore it is essential to installed a heater with the capacity great enough to heed the space. Contact A certified electrician for corrections.

Location: Garage

FIREPLACE \ Gas fireplace or gas logs

29. Condition: • Not operational.

COOLING & HEAT PUMP

Report No. 1003, v.0

101 Main Street, Montreal, QC September 11, 2021

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Description

Air conditioning type: • Central

Heat pump type: • Central

Compressor approximate age: • 16 years

Location of the thermostat for the cooling system: • Hallway

Limitations

General: • System currently not operational.

Description

General: • maximum roof vent

Attic/roof insulation material: • [Cellulose](#)

Attic/roof insulation amount/value: • [R-24](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Wall insulation material: • [Glass fiber](#) • Not visible

Wall air/vapor barrier: • Plastic

Limitations

Attic inspection performed: • From access hatch

Recommendations

RECOMMENDATIONS \ General

30. Condition: • 7 inches of cellulose insulation were observed in the attic providing approximately a R value of 25 it is recommended for the R-value in the attic to be 51 therefore more cellulose could be added to improve the efficiency of the home and reduce heat loss the possibility of ice damming and icicles on the roof.

Adding insulation in the attic is fairly affordable and increases the insulation efficiency of the home. Contact a certified general contractor for improvement and corrections.

Location: Attic

Task: Improve

Time: Discretionary

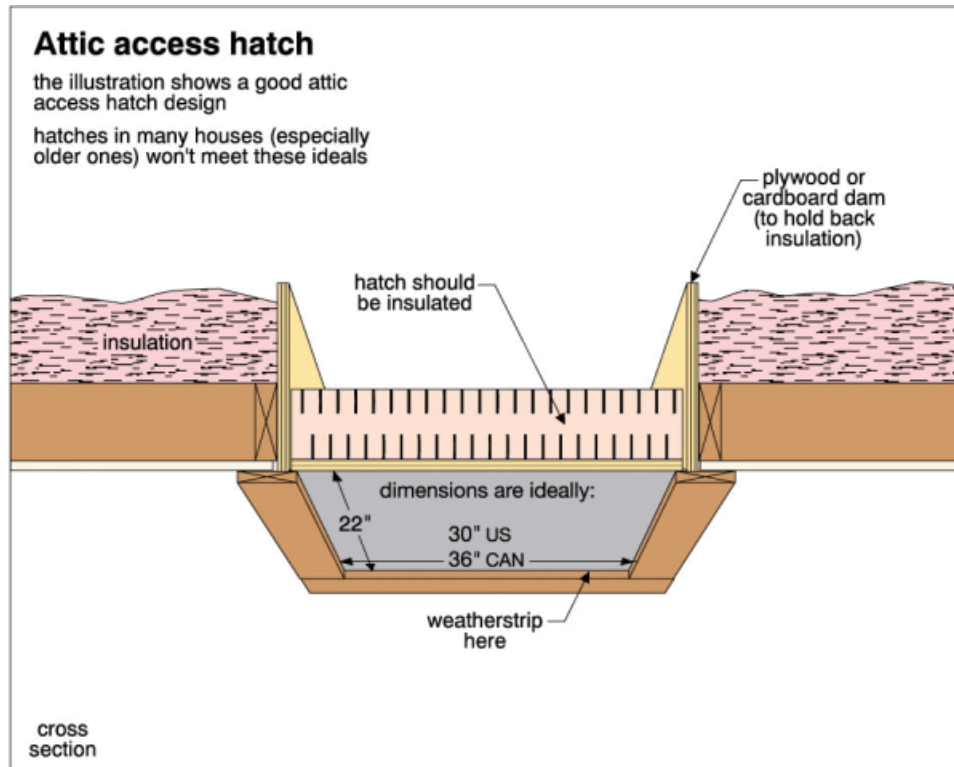


64. Cellulose insulation

31. Condition: • The attic access trap located in the master bedroom closet has a damaged seal due to very frequent opening. Replace the seal to reduce heat loss.

Contact a certified general contractor for corrections.

Location: Attic



65. Damaged seal

Description

Water supply source (based on observed evidence): • Public

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Front of the basement

Main water shut off valve is located in the basement bedroom closet on the left side.



66. main water valve

Water heater type:

- Tank

Water heater shut off valve is located directly over the tank. Would there be a problem with the water heater in the future that it leaks rotate this valve by 90° to turn off the water supply. It is an electric water heater it is important to turn off the supply at the breaker panel should the water heater leak or be in need of maintenance or repairs.



67. Tank water heater



68. water heater valve

Water heater fuel/energy source: • [Gas](#) • [Electric](#)

Water heater tank capacity:

• [60 gallons](#)

60 gallon water heater installation date eighth of December 2016.



69. 60 gallons water heater

Waste disposal system: • [Public](#)

Waste disposal system: • Drain clean-out is located in the front of the basement to the left of the furnace and in the cold room on the floor directly in front of the door.

Backwater valve is located in the cold room. Keep this area clear and accessible at all time should there ever be a blockage in the main sewage line these points are used to access for cleaning or a camera inspection.



70. clean-out

Waste and vent piping in building: • [Plastic](#)

Floor drain location: • near water heater

Main gas shut off valve location:

• Exterior

Propane shut off valve is located directly on the propane Reservoir located in the backyard. Should there ever be a smell of gas in the home the valve located on top of the propane Reservoir should be closed.



71. Propane reservoir

Recommendations

SUPPLY PLUMBING \ Water supply piping in building

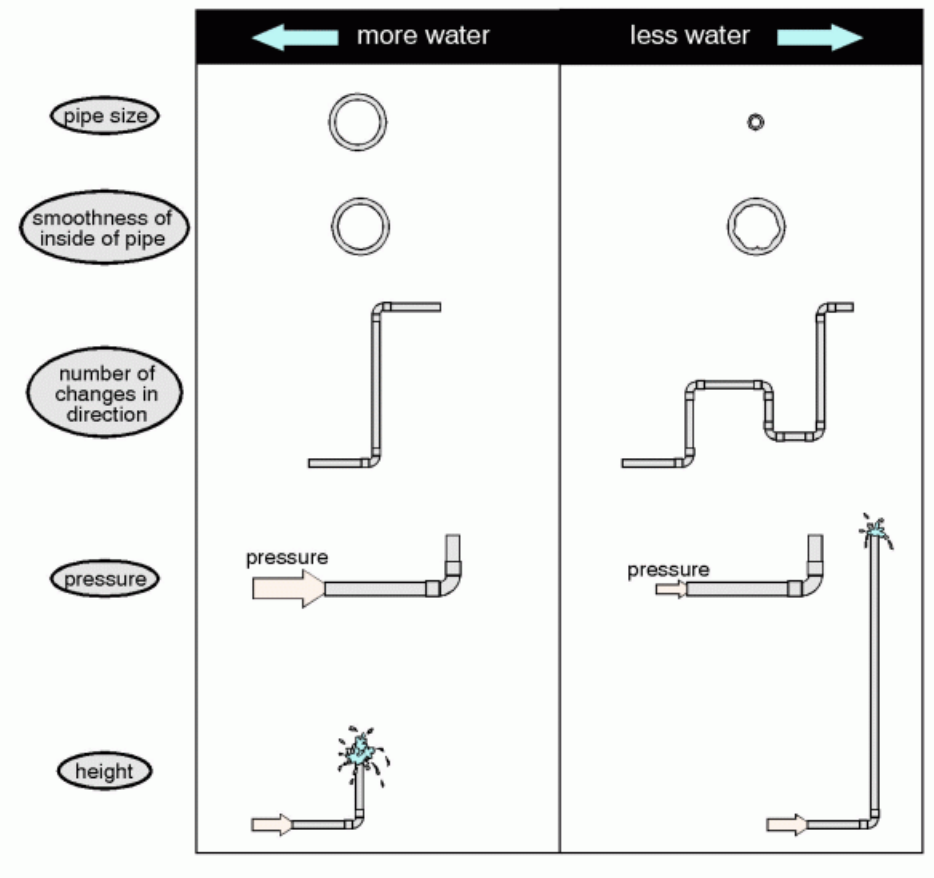
32. Condition: • [Poor pressure or flow](#)

Low water pressure was observed in the basement and in the kitchen. Contact a certified plumber to remedy the problem if needed.

Implication(s): Reduced water pressure and volume

Location: Basement First Floor Bathroom Kitchen

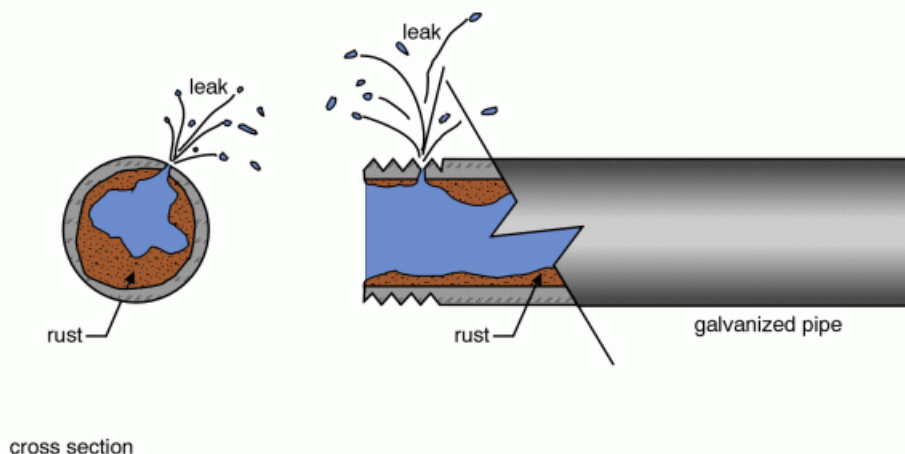
Factors affecting supply of water



Galvanized steel pipe

rusting of galvanized pipe can greatly reduce water pressure and will eventually cause leaks as rust creates holes in the pipe walls

problems are likely to occur soonest on pipes carrying hot water, horizontal pipes and at threaded (thinner) sections





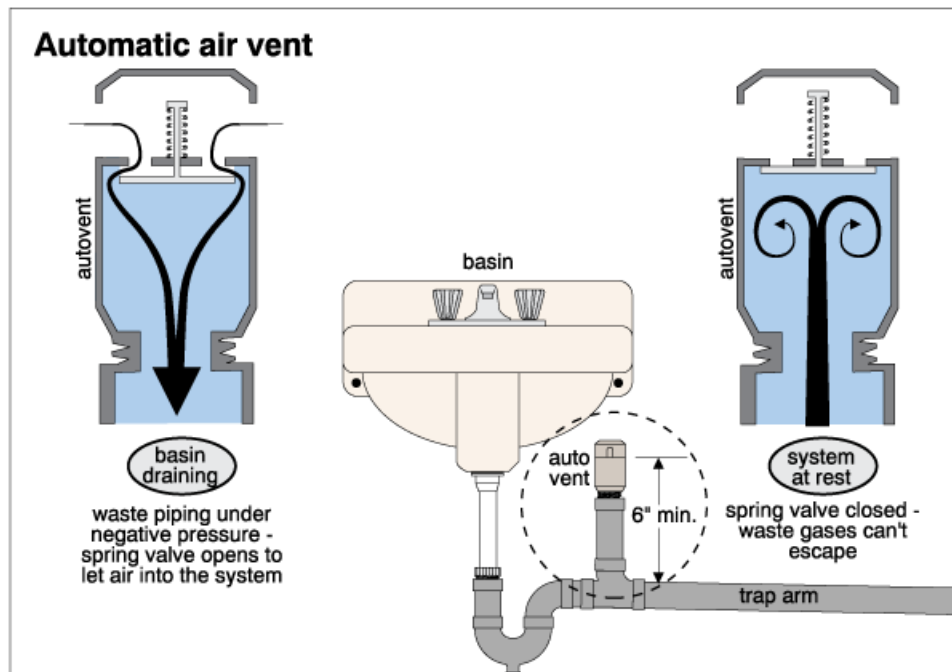
72. Poor pressure or flow

WASTE PLUMBING \ Drain piping - performance

33. Condition: • Air admittance valve located under the sink in the basement kitchen is installed too low. These valves need to be installed as high as possible under the cabinet.

Reinstalled the valve at a higher level under the cabinet. Contact a certified plumber for corrections.

Location: Basement Kitchen





73. to low

WASTE PLUMBING \ Traps - performance

34. Condition: • [Clogged](#)

Sink is partially blocked and water drains very slowly. Clean the P-trap and retest for water flow. Contact a certified plumber for corrections.

Location: Second Floor Master Bathroom

Task: Clean



74. Clogged

35. Condition: • Drain vent pipe is improperly supported in the attic. Add supports to ensure proper drainage and to prevent the pipe from disconnecting, thus causing water infiltration and sewage smell in the home.

Contact a certified plumber for corrections.

Implication(s): Water infiltration and sewage gases entering the home

Location: Attic

Task: Correct



75. Sufficient support

FIXTURES AND FAUCETS \ Faucet

36. Condition: • [Drip, leak](#)

Kitchen faucet leaks around the base. Replace the kitchen faucet to avoid damage to countertop and cabinetry. Contact a certified plumber for corrections.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Bathroom Kitchen



76. Drip, leak

FIXTURES AND FAUCETS \ Toilet

37. Condition: • [Loose](#)

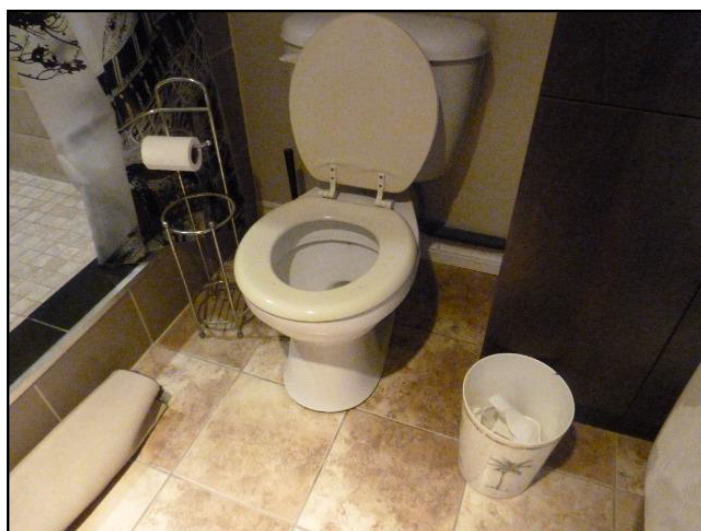
Basement toilet is loose it should be removed inspected for damages to the wood structure and subfloor around it and reinstalled with a proper seal.

Contact a certified plumber for corrections.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Basement

Loose toilet



77. Loose

Description

Major floor finishes: • hardwood

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows:

• [Single/double hung](#)

Vinyl triple pane thermal glass

• [Casement](#)

vinyl triple pane thermal glass

• [Skylight](#)

Aluminum velux thermal glass laminated

Exterior doors - type/material:

• Hinged

Steel insulated

• [Sliding glass](#)

Vinyl thermal pane sliding patio doors

Limitations

Inspection limited/prevented by: • Storage/furnishings

Recommendations

RECOMMENDATIONS \ General

38. Condition: • Addition on the main floor is undergoing construction and incomplete at this moment ,we recommend re-inspecting before purchase once the work is completed.

Location: Rear First Floor Addition

39. Condition: • The basement is currently undergoing renovations, transformations and upgrades. Some of the areas were unfinished and undergoing work, we recommend re-inspecting once the renovations are completed pre-purchase. Some of the work undergoing in the basement includes, but is not limited to: enlarging windows, condemning a window, repairs to the floors, changes to the kitchen, wiring and plumbing.

Implication(s): Inspect the basement once the work is completed.

Location: Throughout Basement

RECOMMENDATIONS \ Overview

40. Condition: • Minor signs of previous water leak from first floor powder room were noted in the furnace room. Area was dry during inspection.

Location: Basement Utility Room

CEILINGS AND WALLS \ General notes

41. Condition: • Typical minor flaws

Minor cracks and flaws are noticed on the first floor ceiling repair and monitor these areas, should the cracks return after proper repairs it may indicate movement in the structure further evaluation will be required at that point.

Contact a certified general contractor for corrections.

Location: First Floor Dining Room Living Room



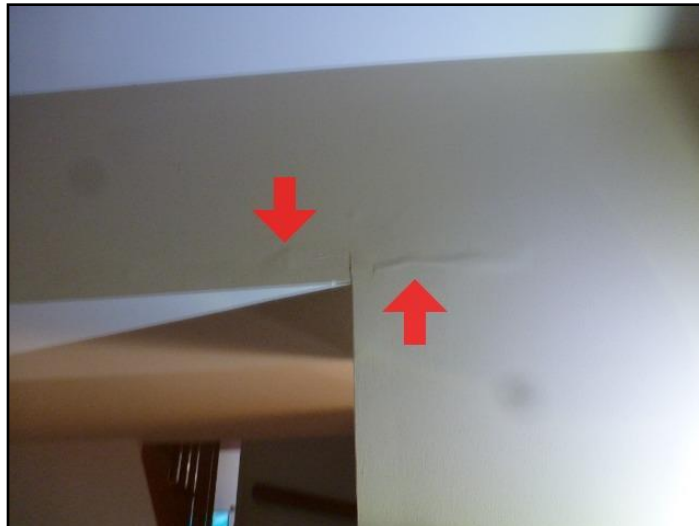
78. Typical minor flaws

42. Condition: • Although common this is an area that needs to be monitored, as signs of compression or settlement in the structure were noted in the doorway from the living room to the dining room. Repair the area and monitor for further movement. Contact a certified general contractor for further evaluation and corrections.

Implication(s): Structure settlement

Location: First Floor Living Room

Task: Monitor Repair/ further evaluation.



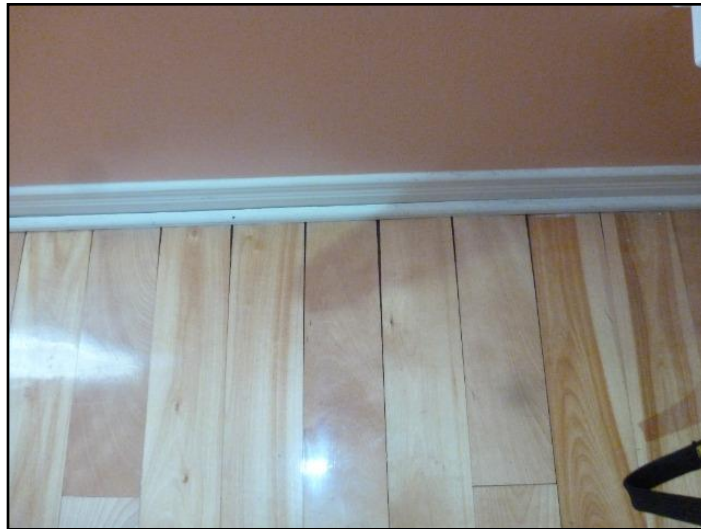
79. structure under pressure

FLOORS \ General notes

43. Condition: • Typical flaws

typical minors flaws were noticed on the main floor including a very small area that shows signs of previous water damage in the dining room to the left of the patio door.

Location: Throughout First Floor



80. Typical flaws

WINDOWS \ General notes

44. Condition: • Rear bedroom window is hard to open. Windows are recent and under warranty contact the manufacturer for corrections.

Implication(s): Egress from the bedroom may be limited.

Location: Rear Second Floor Bedroom

Task: Correct



81. Hard to open

DOORS \ Doors and frames

45. Condition: • [Inoperable](#)

Fire door between the garage and the basement doesn't shut properly and is installed at the same level as the garage floor.

REFERENCE

It is crucial that the door between the garage and the living space closes itself and seals tightly to reduce the possibility of fumes entering the home.

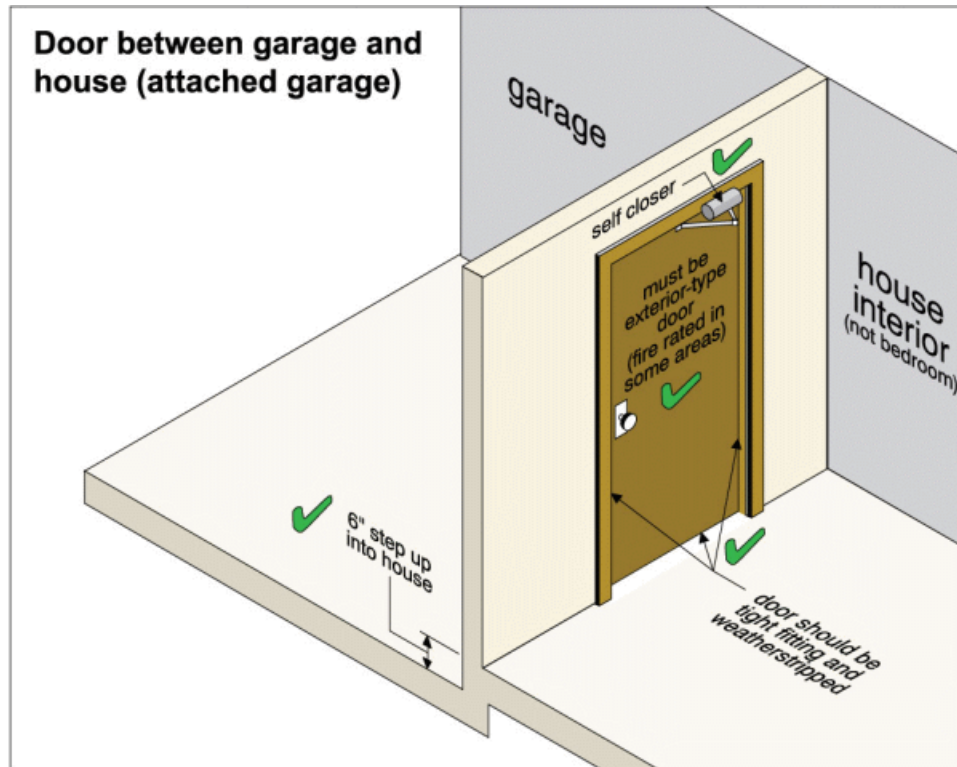
Contact a certified general contractor for corrections.

Implication(s): Reduced operability

Location: Garage

Task: Correct

Time: Immediate Regular maintenance





82. Fire door doesn't shut

46. Condition: • [Stiff](#)

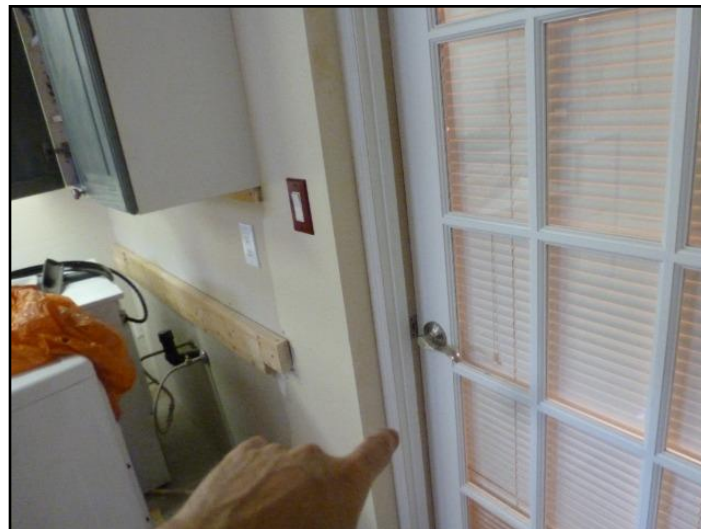
All of the basement doors were stiff and hard to open. It is essential that all doors can be easily opened in the need of an emergency exit a child could gets stuck in a room if they don't have the strength to pull the door open.

Contact a certified general contractor for corrections.

Implication(s): Reduced operability

Location: Basement

Task: Repair



83. Stiff

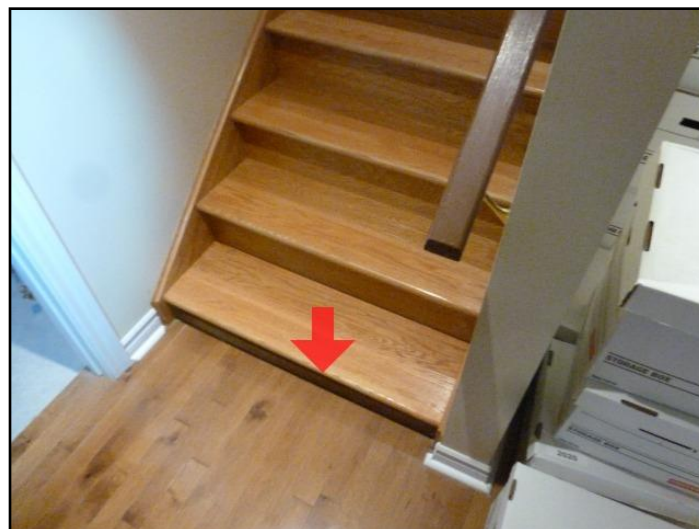
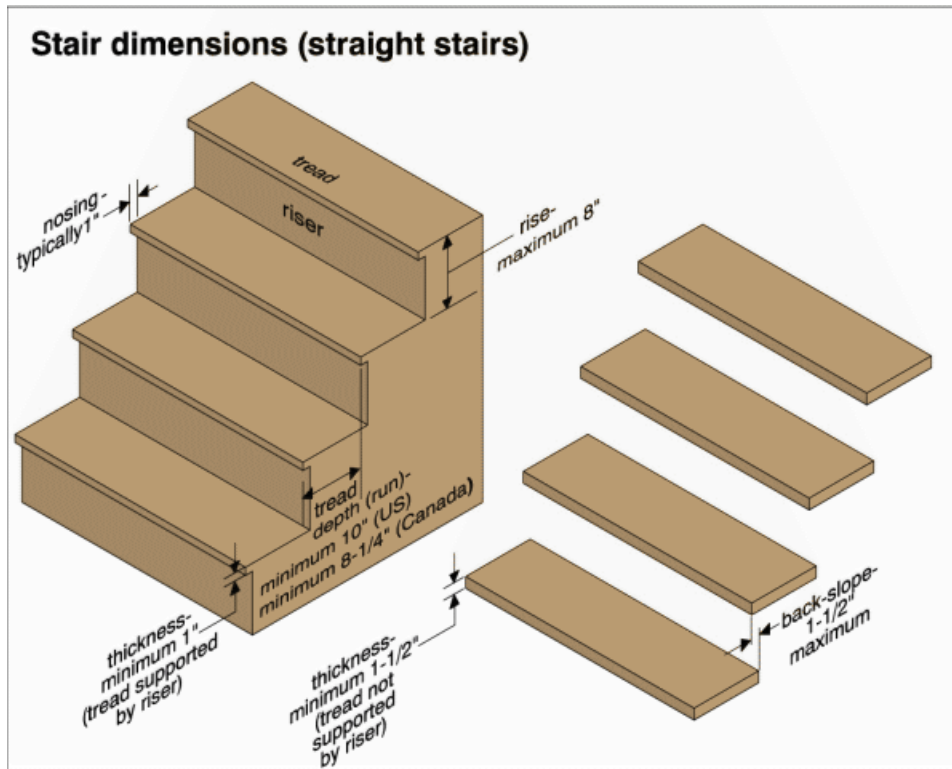
STAIRS \ Treads

47. Condition: • [Rise or run not uniform](#)

Bottom step into the basement from the main home is of much lower height than the rest. This may cause a tripping hazard. Contact a certified general contractor for corrections.

Implication(s): Trip or fall hazard

Location: Basement



84. Rise or run not uniform

STAIRS \ Handrails and guards

48. Condition: • Handrail loose. Railing from the first to the second floor needs to be solidified as it move side to side. Contact a certified general contractor for corrections.

Implication(s): Trip fall hazard.

Location: First Floor Second Floor



85. Handrail loose

EXHAUST FANS \ General notes

49. Condition: • [Inoperative](#)

Second-floor bathroom fan grill is totally blocked making the ventilation system inoperable and its functionality not verified during the inspection. To remedy the situation clean the fan cover.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Second Floor Master Bathroom



86. Inoperative

50. Condition: • Basement kitchen that is undergoing transformations has a new ventilation duct installed to the exterior that is not insulated it is essential that at least the first 5 feet would be insulated to reduce the chance of condensation and water damage.

It is recommended that the entire length be insulated to reduce static noise from the moving air when the exhaust fan is in use. Contact a certified general contractor for corrections.

Implication(s): Moisture accumulation, possible damage to cabinetry content and structure.

Location: Basement Kitchen

Task: Correct

SITE INFO

Report No. 1003, v.0

101 Main Street, Montreal, QC September 11, 2021

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Description

Weather: • Sunny

Approximate temperature: • 66°

Attendees: • Buyer

Attendees: • Michel Cordeau(buyer)

Matthew Kompan(inspector)

Access to home provided by: • Buyer

Occupancy: • The home was occupied at the time of the inspection. • The home was furnished during the inspection.

Utilities: • The gas was shut off during the inspection.

Approximate inspection Start time: • The inspection started at 10:00 a.m.

Approximate inspection End time: • The inspection ended at 1:30 p.m.

Approximate date of construction: • 2005

Building type: • Detached home

Number of stories: • 2

Below grade area: • Basement

Garage, carport and outbuildings: • Attached two-car garage

Street type: • Residential

Street surface: • Paved

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS